

ADDENDUM NUMBER TWO

Project #20-C-0048

Pengra Court Exterior Improvements
Springfield, Oregon

January 4, 2021

CHANGES TO PROJECT MANUAL,
BID DOCUMENTS, AND PROJECT
DRAWINGS
GENERAL

GENERAL:

- Note:** Use enclosed Addenda Receipt, or similar Addenda Receipt, to acknowledge receipt of this Addendum when submitting your Bid.

ADDENDUM #2: MODIFICATIONS AND ADDITIONS TO CONTRACT DOCUMENTS

A. General

- No Changes

B. Specifications

- No Changes

C. Drawings

- Sheet A01
 - Under "ENVELOPE WORK", note that sheathing replacement allowance is changed to 10% of total wall area.
 - Rainscreen battens are described in specification, are not plywood, and are approx. 3/8" thick.
 - Passive Air vents reduced to (1) per unit.
 - Storage room doors under stairs are changed to fiberglass doors with composite frames in lieu of specified plywood.
 - Mounting panel detailed on sheet A05 for reinstallation of existing building signage.
 - All windows to get full trim per window details, whether currently existing or not.
 - Replace interior trim and back patio doors to match adjacent windows.
 - Interior of storage under stairs requires installation of moisture resistant gyp bd. to provide 1-hr. fire separation from unit interior.
- Sheet A05
 - Detail 1 – revise profile of wall base flashing
 - Detail 2 – add new detail describing gyp. bd. installation at under stair storage

- c. Detail 3 – revise detail to match existing conditions
- d. Detail 5 – add new detail showing typical location of passive air inlet
- e. Detail 6 – revise detail to match existing conditions.
- f. Detail 9 – add new detail for sign mounting panel

D. ATTACHMENTS:

- 1. Sheet A01
- 2. Sheet A02

GENERAL

GENERAL NOTE: All implied, inferred, or direct verbal responses from Contract Administrator, Architect, or agents of owner (stated at Pre-Bid walk through, by phone, email, etc...) are not valid or binding unless noted in writing in this addendum.

Addendum Number One issued January 4, 2021, and authorized by: Teresa Hashagen, Contract Administrator

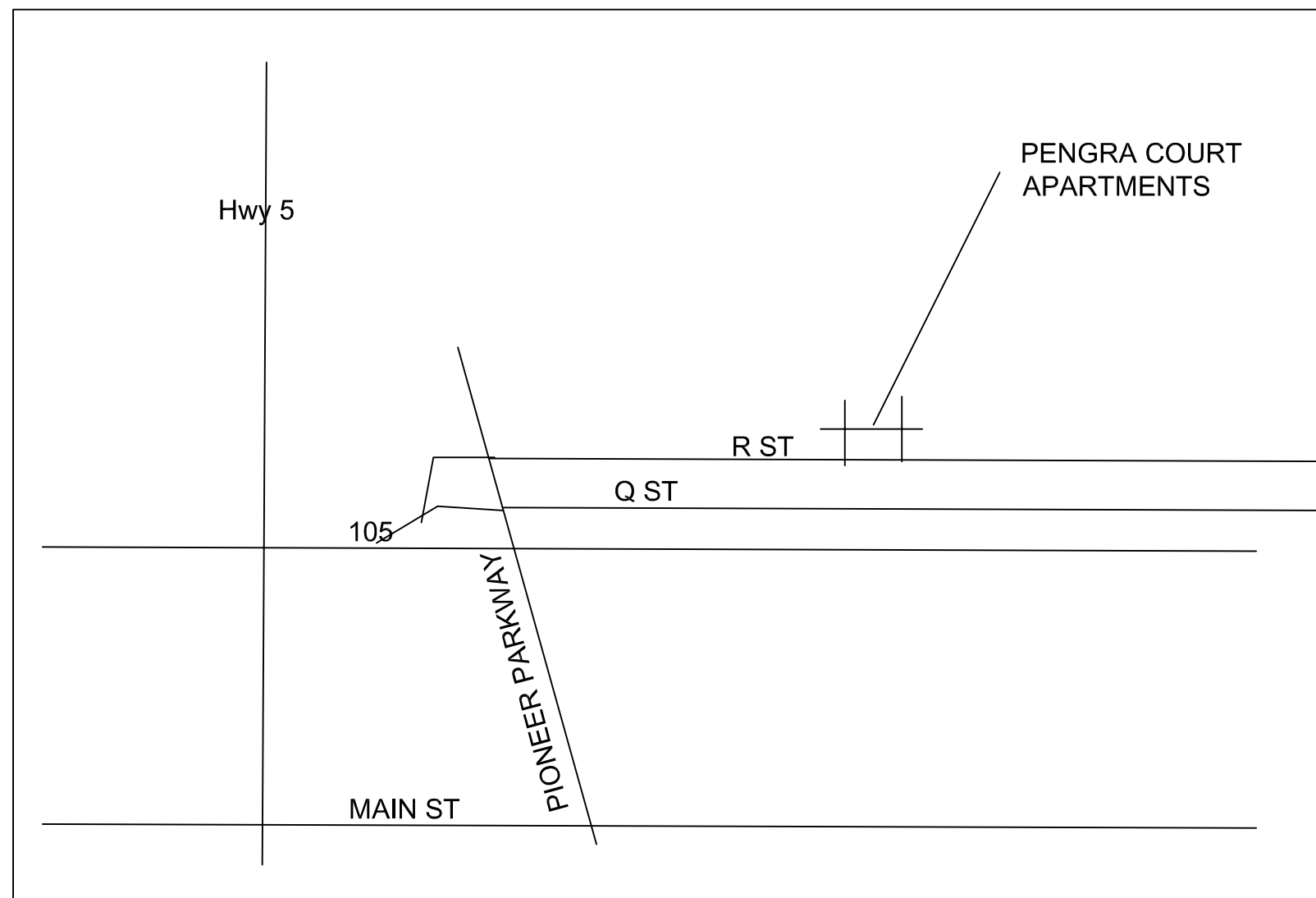

Teresa Hashagen
Contract Administrator

GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK.
2. DIMENSIONS TAKE PRECEDENCE OVER DRAWING: DO NOT SCALE DRAWING TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK. DIMENSIONS ARE TAKEN TO THE FACE OF FRAMING U.N.O.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF ANY CONSTRUCTION UNTIL ALL FINAL LATERAL AND VERTICAL CARRYING SYSTEMS ARE COMPLETED.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION OF SUBCONTRACTORS WORK TO SECURE COMPLIANCE OF DRAWINGS AND SPECIFICATIONS FOR THE ACCURATE LOCATION OF STRUCTURAL MEMBERS, AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND OPENING SIZES (CLEARANCES REQUIRED) FROM MFR PRIOR TO CONSTRUCTION AND INSTALLATION OF EQUIPMENT, FURNISHINGS, ACCESSORIES ETC.
5. TRADE PERMITS, INCLUDING BUT NOT LIMITED TO: MECHANICAL, ELECTRICAL, EXTERIOR SIGNAGE, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. DETAILS NOTED AS "TYPICAL" OR "TYP" APPLY IN ALL CASES WHETHER OR NOT SPECIFICALLY REFERENCED. HOWEVER DETAILS THAT ARE SPECIFICALLY REFERENCED SHALL TAKE PRECEDENCE OVER TYPICAL" OR "TYP." DETAILS. SPECIFIC DETAILS AND NOTES SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
7. WHERE COMPONENTS, ASSEMBLIES, ITEMS, EQUIPMENT, ETC. ARE BASED UPON A PARTICULAR SUPPLIER, FABRICATOR AND/OR MFR, THE CONTRACTOR SHALL ENSURE, PROVIDE OPTIONS, ALLOW FOR, AND SHALL MAKE ANY CHANGES TO MEET THE DESIGN INTENT OF THE DOCUMENTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL JOB COMPLETION.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE WORK.
10. ALL UNPAINTED FERROUS METALS EXPOSED TO THE WEATHER SHALL BE GALVANIZED, U.N.O.
11. SEPARATE ALL ALUMINUM AND OTHER METALS FROM DIS-SIMILAR METALS WITH BITUMINOUS TAPE OR PAINT.

VICINITY MAP

NTS



SCOPE OF WORK

SEE SPECIFICATIONS FOR FURTHER SCOPE OF WORK.

Pengra Court Envelope Rehabilitation
Narrative Scope of Work
10-16-2020

GENERAL

- Exterior Envelope: Where significant organic growth of the hazardous type is present, Owner will select a consultant/testing company to be used for inspections prior to demolition and following rough-in prior to cover.

SITE WORK:

1. Landscape:
 - Protect the trees and shrubs from damage adjacent to buildings undergoing work. Replace any trees or shrubs in kind which received major damage or destruction.

ENVELOPE WORK:

1. Walls: Remove siding and reside
 - Strip upper walls (vinyl siding) down to sheathing, replace any damaged sheathing as needed.
 - ~~As directed by Owner or Architect: Strip 24" of T-1-11 off lower walls, where damaged, replace with plywood sheathing of same thickness. (plan for 10% of all ground floor perimeters)~~
 - ~~review condition of bottom plate, framing, insulation. Replace where damaged:~~
 - **Replace all damaged sheathing where occurs and replace with new plywood of same thickness. Where sheathing is replaced, inspect and repair damaged framing as needed. Assume an allowance of 10% of total exterior wall area for repair/replacement of damaged sheathing and/or framing.**
 - Install new exterior WRB over existing T-1-11 or plywood sheathing
 - i. True Rainscreen - Tyvek Commercial wrap with $\frac{3}{8}$ " rainscreen battens **per specifications** - (treated plywood and insect screen or Cor-a-vent strips w/ integral insect screen)
 - Install Hardie lap siding with 6" exposure at top (where the vinyl siding was) and James Hardie panel and batten siding on the bottom over the T-1-11. (see original reference drawings for exterior elevations), all Hardie products to be textured.
 - Flash all penetrations (per BDA details)
 - All Fascia and barge to remain, if damaged: replace with 2x8 Cedar (plan for 5% replacement)
 - All door and window trim, trim bands, corner boards, to be replaced with James Hardie trim products - (Cedarmill texture).
2. Windows: replace all windows - like for like in size and operation.
 - U-29 minimum base bid
 - ALTERNATE: U-25 upgrade
 - Install WOOD at all second floor windows.
 - since buildings are sprinkled AND have two ground floor exits - the bedrooms do not need egress window sizes.
 - a. Window Approved Products:
 - i. Cascade, "Winpro Series" with EC glass, SuperSpacer and argon gas for 0.25 U value or better. SHGC of 0.35. Cascade "Cascade Series" for casements and awnings. or:
 - ii. Milgard, "Styleline Series" with Suncoat i89 glass, EdgeGuard MAX spacer and argon gas for 0.25 U value or better. SHGC of 0.35. Milgard "Montecito Series" for Accessible Windows with smart touch locks and integrated pull rail at the bottom of the operable single hung sash.
3. Install ~~(2)~~ **(1)** passive air vent for each unit. (as shown in drawings)
4. Gutters and Downspouts: Retain, Protect and Reuse all existing gutters and downspouts (they are newer).
5. Exterior Doors:
 - Reuse all doors and door frames.
 - ~~Remove and replace door weather stripping with new paint.~~
 - Exception: rebuild plywood storage room doors (under the stairs), provide new hasp latches for tenant padlocks.
 - **Replace existing plywood storage doors to areas under stairs with new custom size fiberglass door with composite frame.**
6. Exterior Door Hardware:
 - Re-use all existing exterior door hardware.
7. Exterior Paint: Full exterior Paint of all exposed surfaces, for example: underside of roof overhang, posts and beams, fascia, trim and doors, door jambs, privacy fence walls. Color Scheme is:
 - 3 colors each for Lap Siding :p1,p2,p3
 - 3 colors for panel & batten Siding :p4,p5,p6
 - 1 color for all trim: p7
 - 1 color for all doors: p8
 - 1 color for underside of porch roofs: p9
8. Fire Extinguishers & Cabinets: Reuse all.
9. Building mounted lights - ~~remove, SAVE and reuse all.~~ Exterior Lights are newer. Integrate flashed penetration block per details.
10. Security Cameras: remove and abandon any wiring. (new system may be installed)
11. Signage:
 - Remove and replace all existing building mounted signs and plaques. **Provide mounting panel per details.**
12. Hose Bibbs - Replace all existing hose bibbs with new hose bibbs, same locations. Integrate flashed penetration block per details.

INTERIOR WORK

1. Paint:
 - Paint interior face and edges of all exterior doors
 - Paint existing exterior door frames and jambs.
 - Paint all new window casings and trim.
2. Mini Blinds
 - Remove existing blinds, save and reinstall at new windows.
3. Interior Trim
 - ~~Replace and/or install new trim at all windows. Use pre-primed MDF to case the jambs and sill, add apron and trim all 4 sides.~~
 - **Replace interior trim around back door to match adjacent windows**
 - Paint new trim.
4. Storage under stairs
 - **at under stair storage areas, install (2) layers of $\frac{5}{8}$ " type 'x' Moisture Resistant gyp. bd. to underside of stair landing and (1) layer to storage side of landing support wall for 1-hr. rated separation from adjacent living space.**

PROJECT TEAM

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CONTACT: Sara Bergsund, AIA

DATA

Building Summary
Construction Type: Type VA
Automatic Sprinkler System: NFPA 13-R
Occupancy Types: R-2

CODES

Applicable Codes:
2019 Oregon Structural Specialty Code
2019 Oregon Fire Code
2019 Oregon Mechanical Specialty Code
2017 Oregon Electrical Specialty Code
2017 Oregon Plumbing Specialty Code

INDEX

ARCHITECTURAL

A01	COVER SHEET & SCOPE OF WORK
A02	WINDOW FLASHING SEQUENCE
A03	DOOR FLASHING SEQUENCE
A04	WALL FLASHING DETAILS
A05	WALL FLASHING DETAILS

EXISTING DRAWINGS FOR REFERENCE
Sheets 2, 3, 4 for exterior elevation extent of siding.



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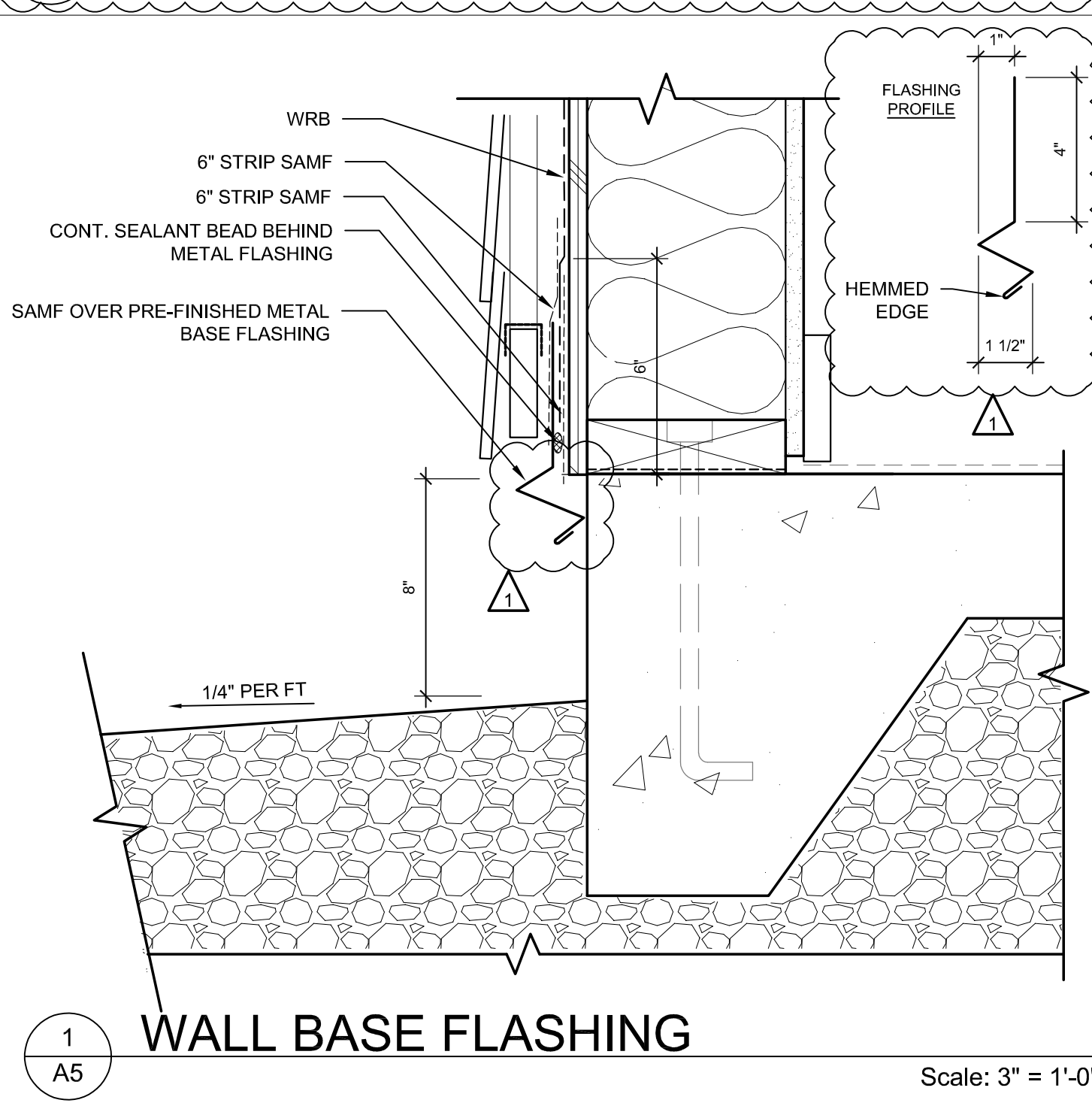
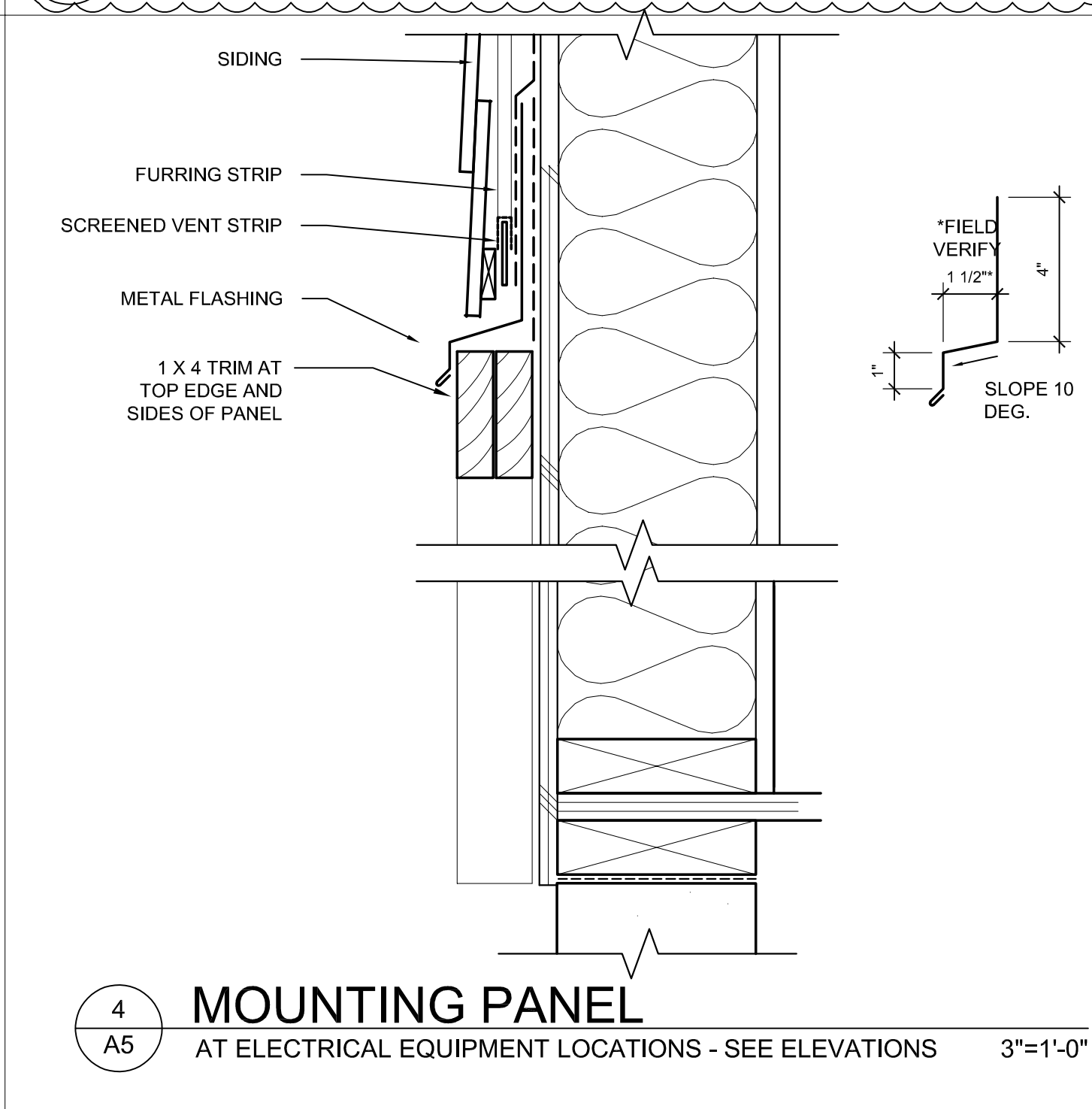
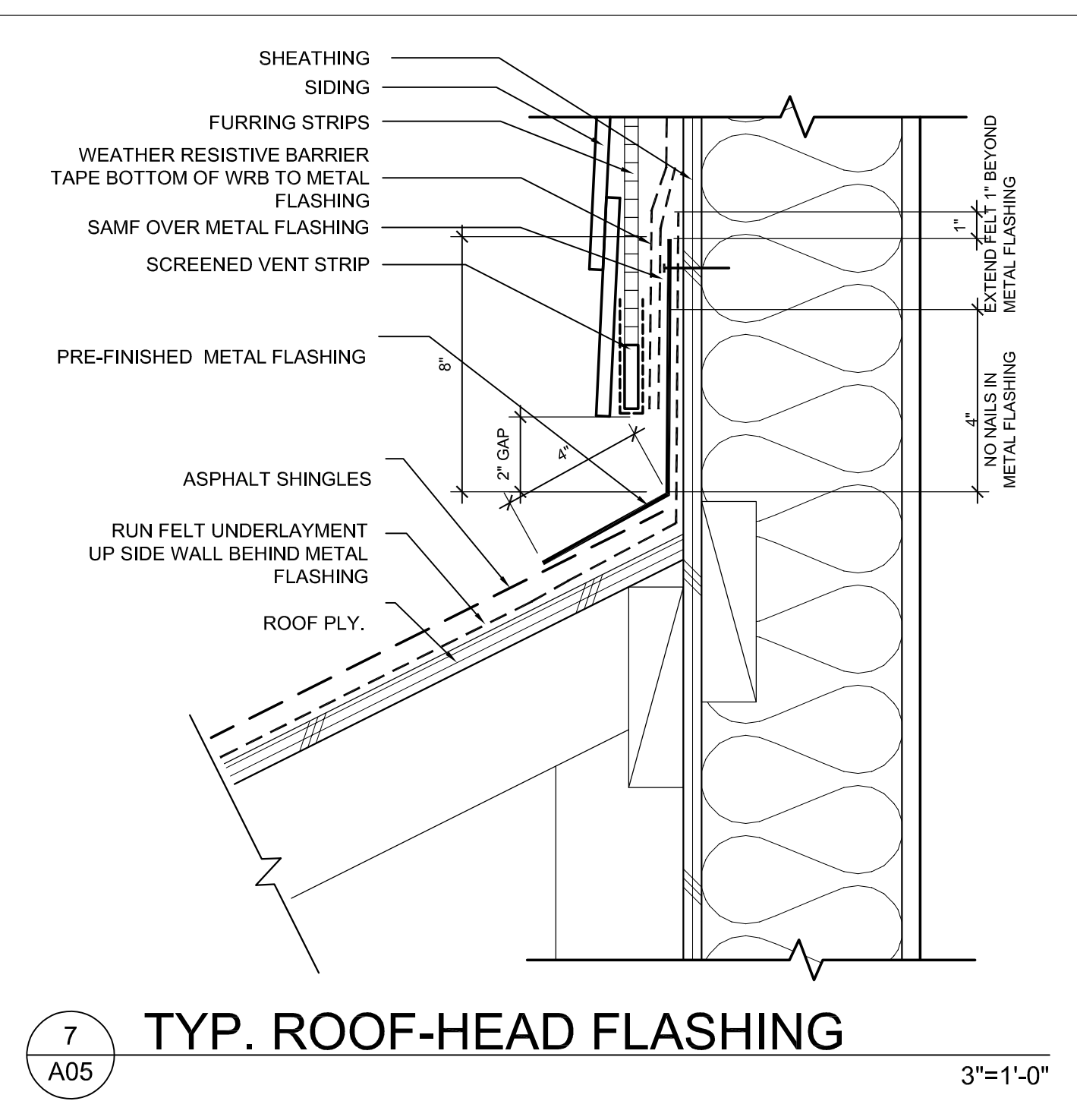
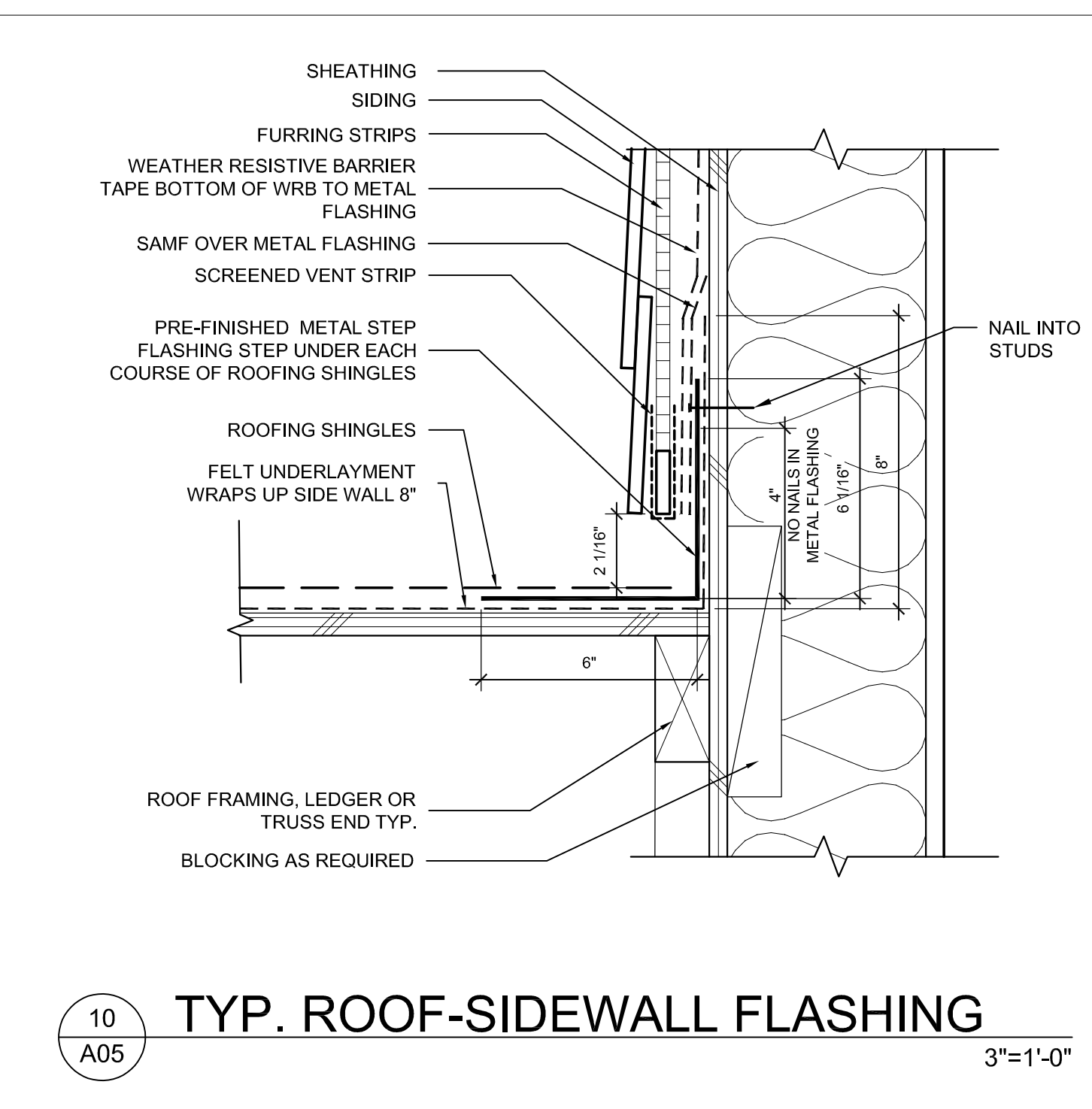
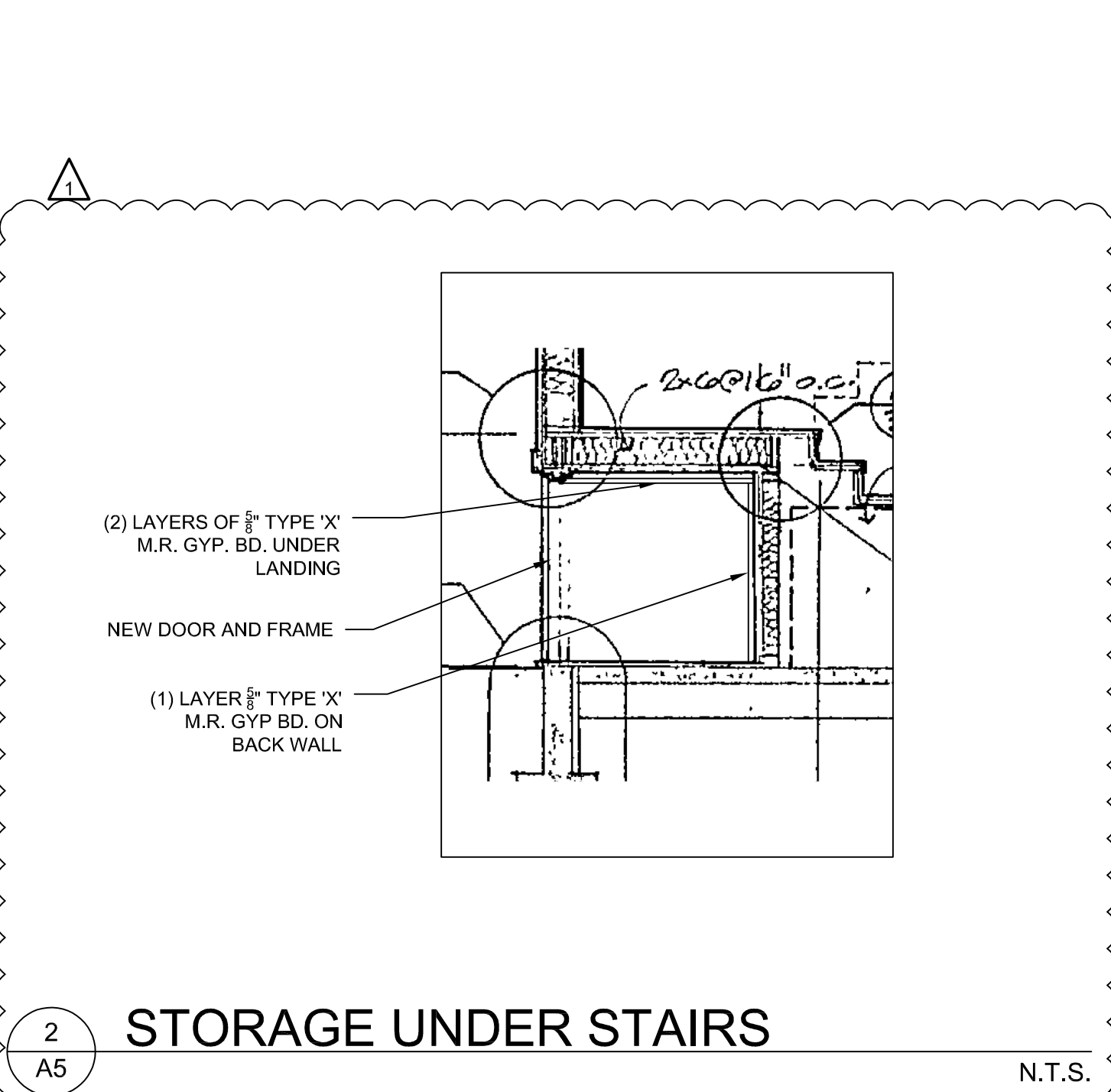
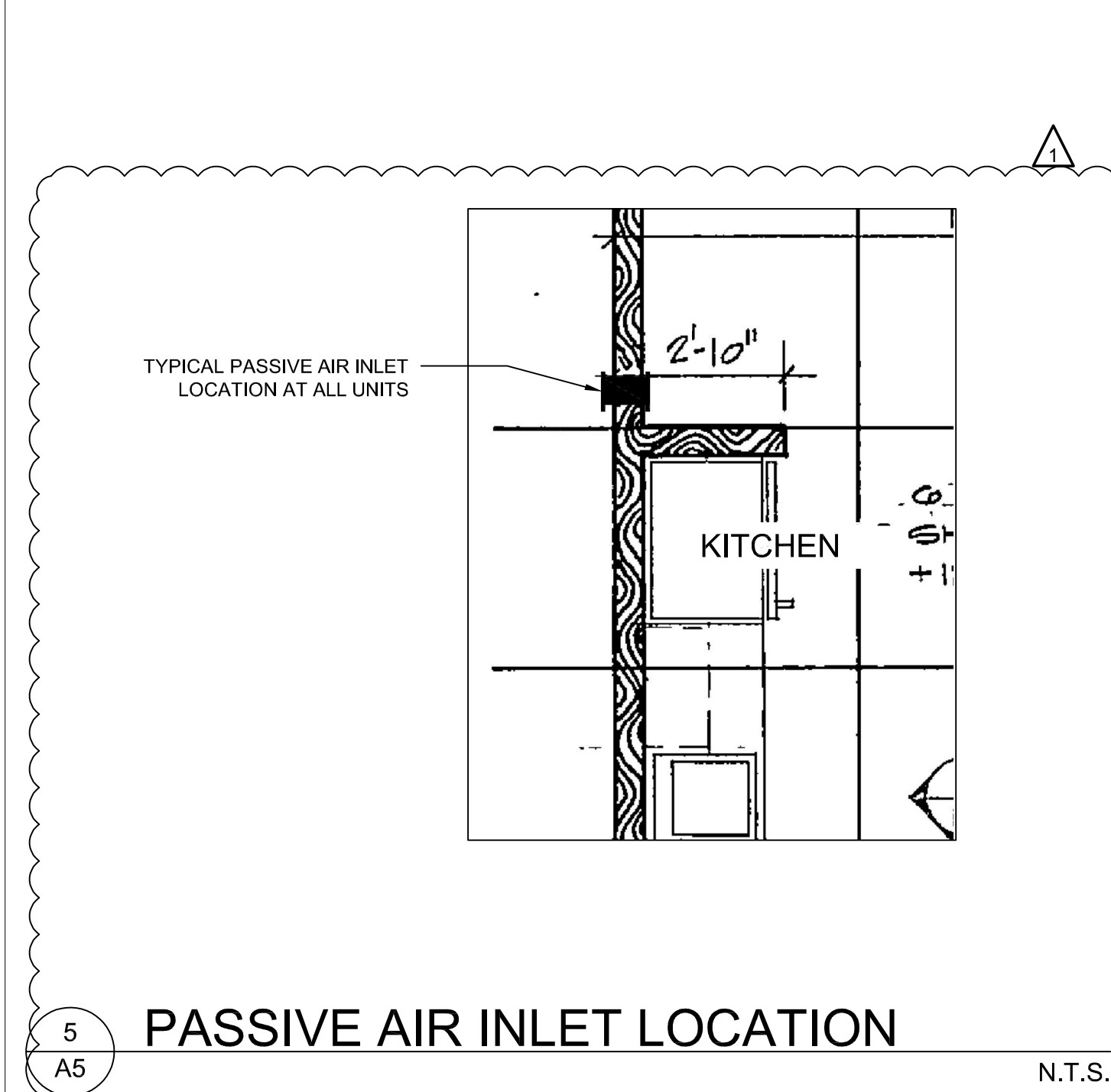
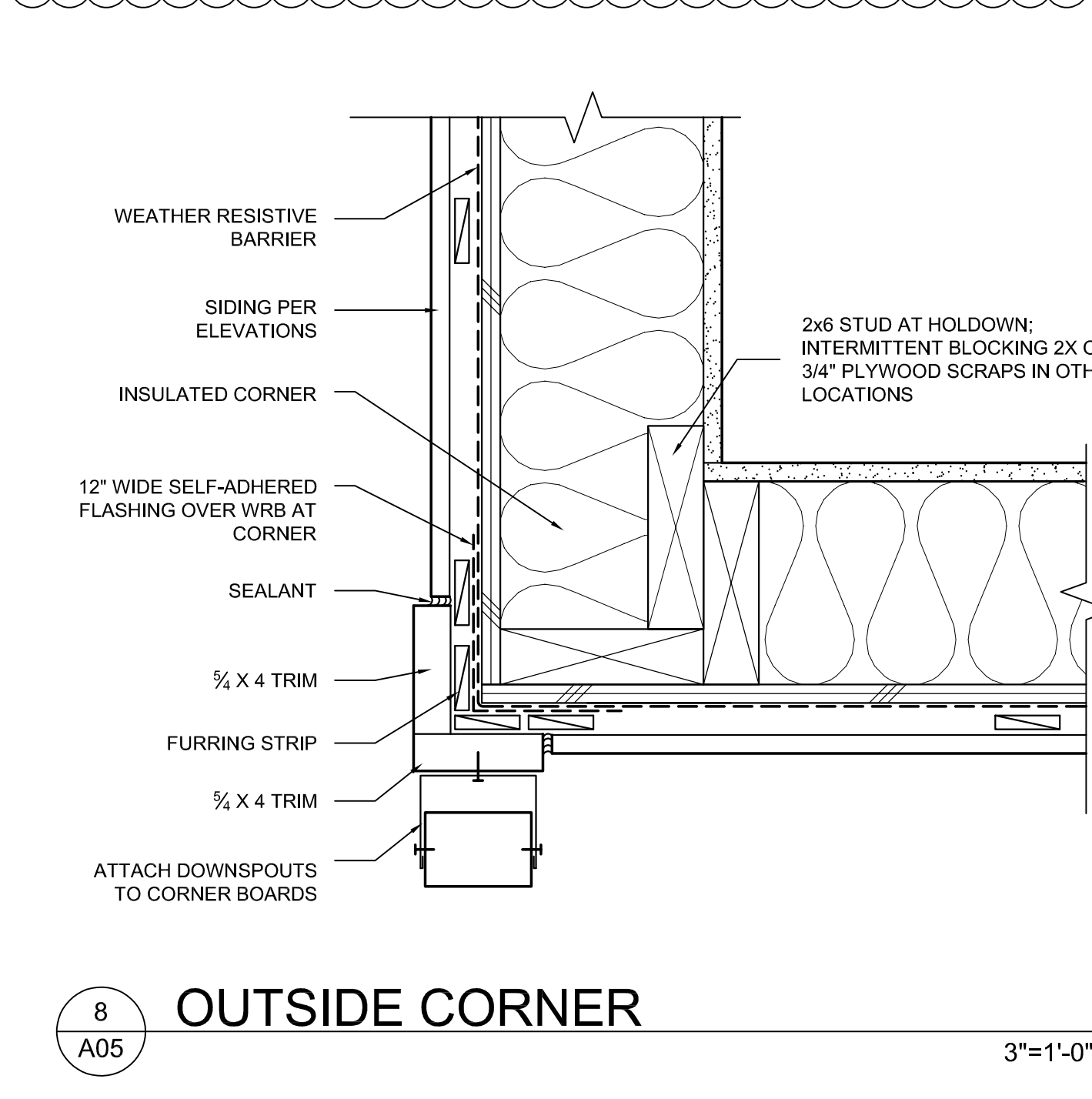
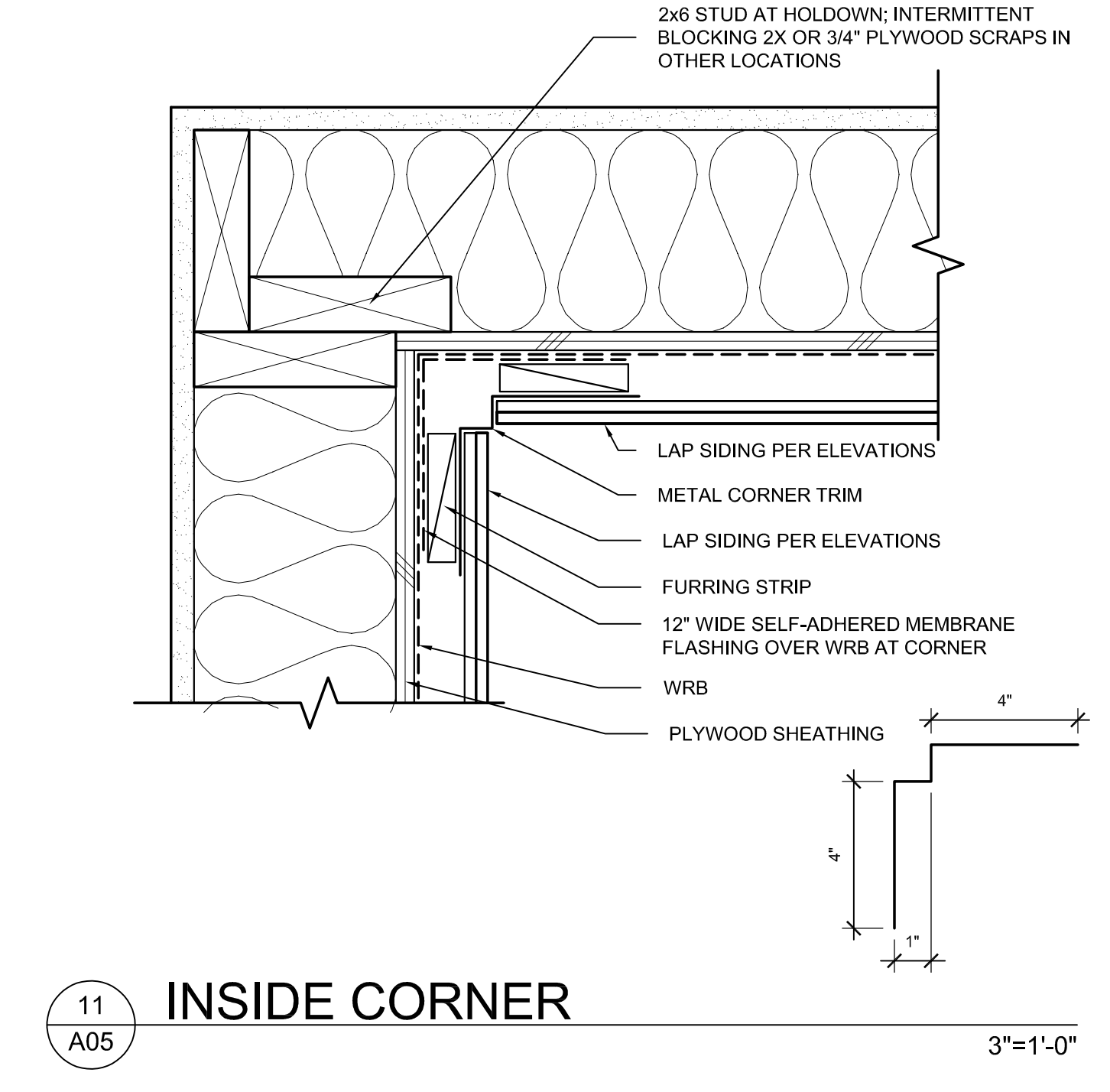
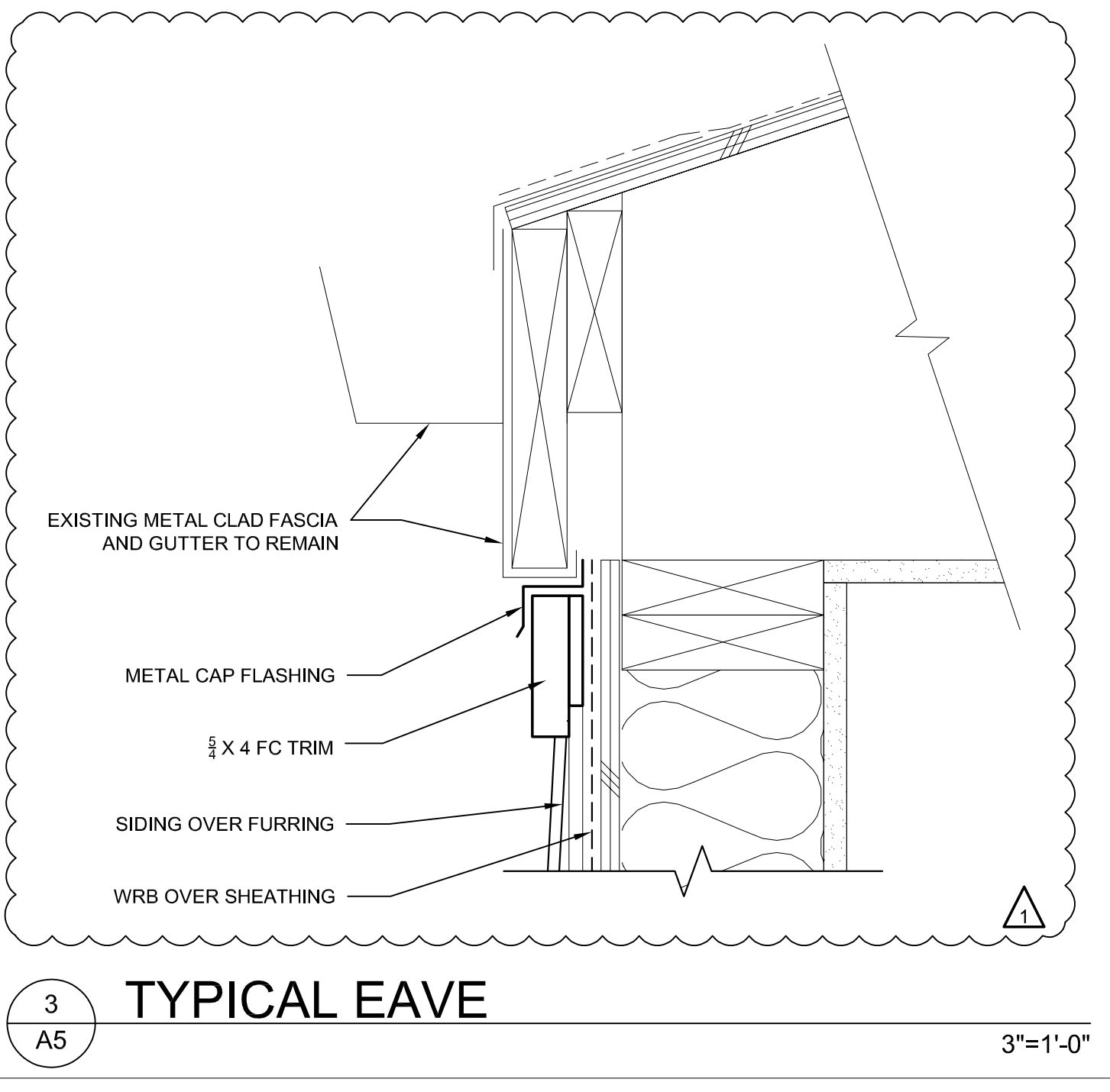
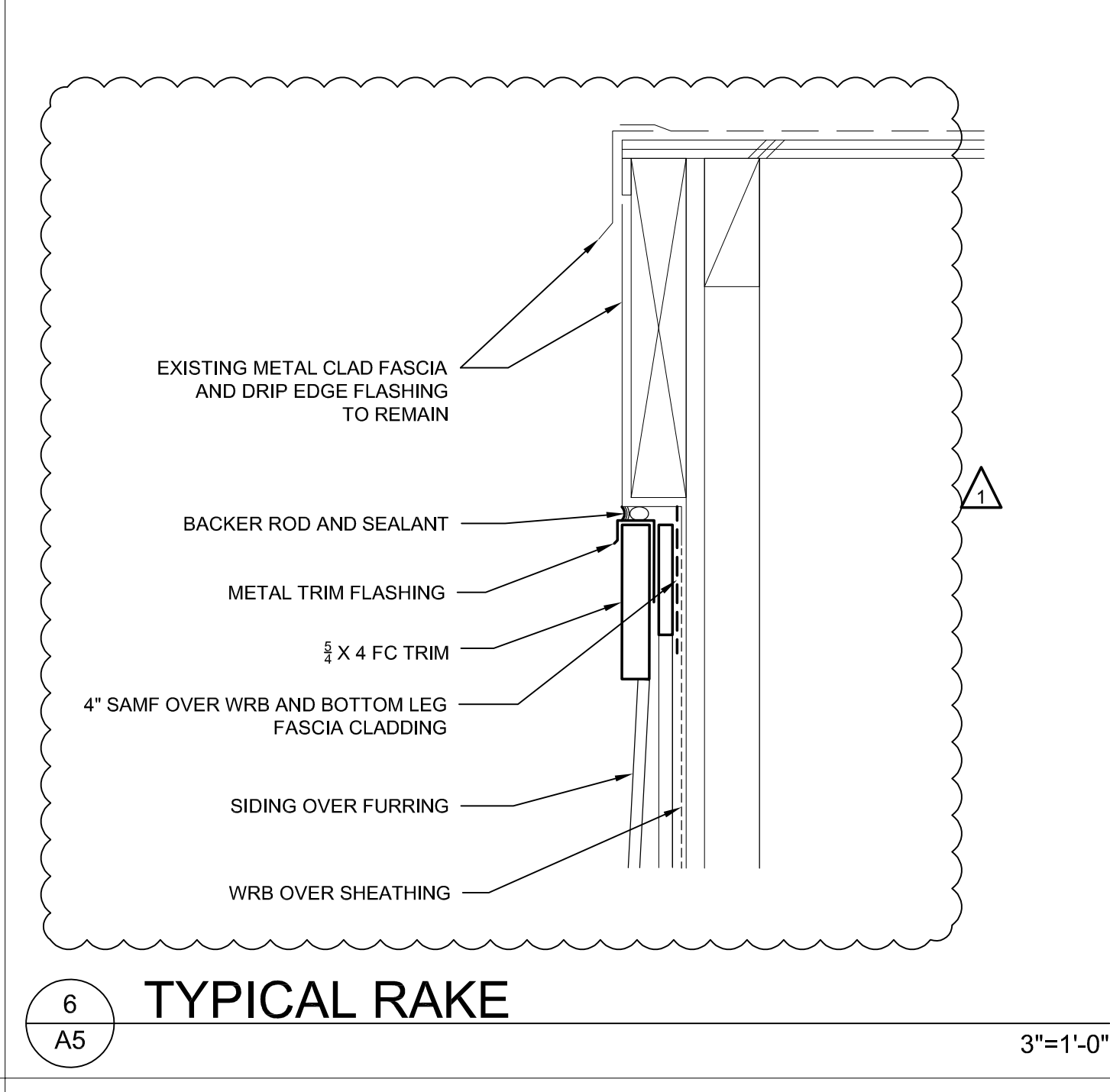
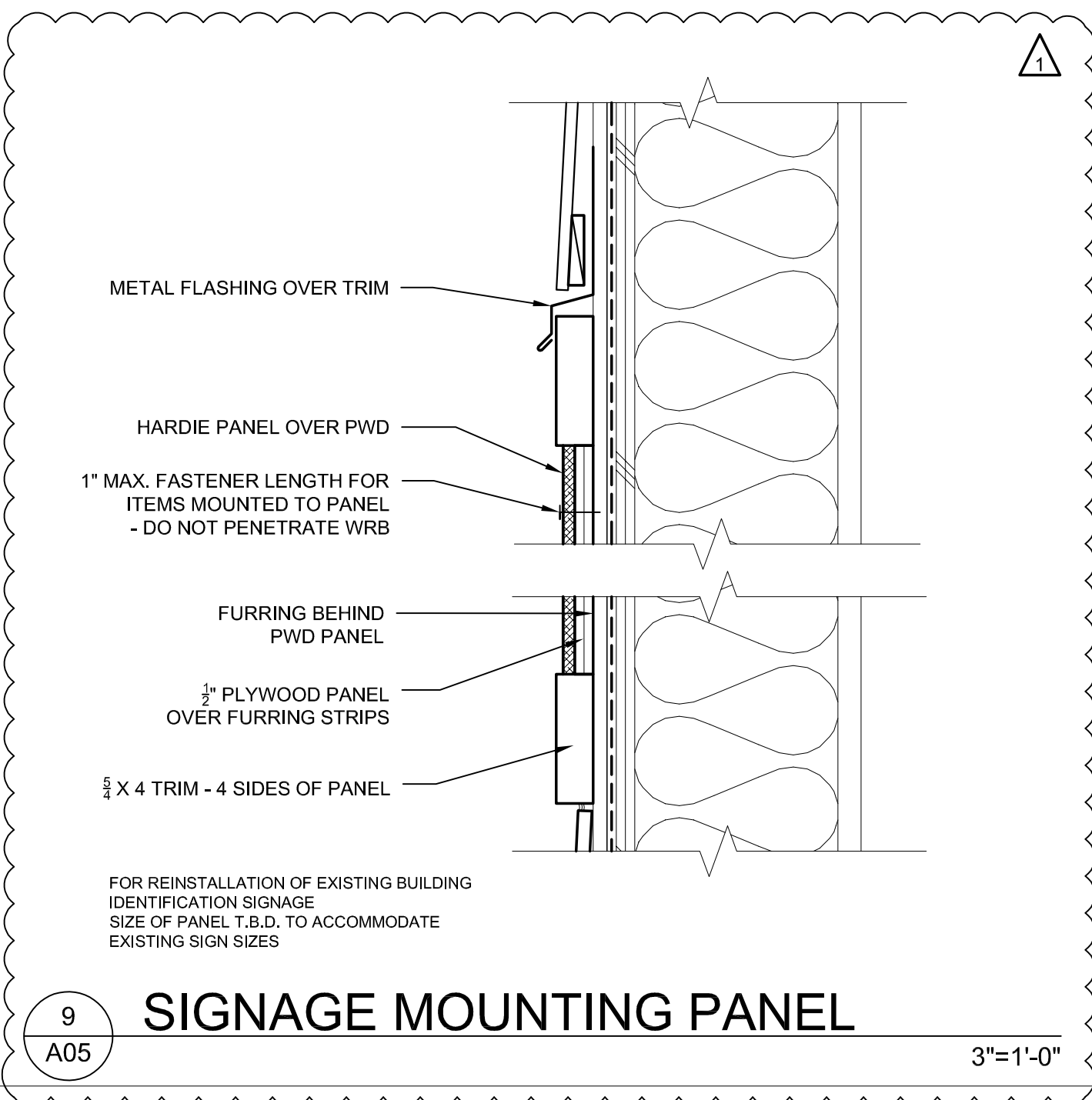
Revision Summary	
▲	ADDENDUM 2 12/23/20

PENGRA COURT EXTERIOR IMPROVEMENTS
 1038-1124 R STREET and
 1270-1290 R STREET
 SPRINGFIELD, OREGON
 HOMES FOR GOOD HOUSING AGENCY

COVER SHEET
AND
SCOPE OF WORK

date 10-16-2020
file 2020 A01
d.b. sqb

A01



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▲	ADDENDUM 2 12/23/20

PENGRA COURT EXTERIOR IMPROVEMENTS
 1038-1124 R STREET and
 1270-1290 R STREET
 SPRINGFIELD, OREGON
 HOMES FOR GOOD HOUSING AGENCY

WALL FLASHING DETAILS

date 10-16-2020
 file 1705 A05
 d.b. sgb

A05

HOMES FOR GOOD HOUSING AGENCY
100 W. 13th Avenue, Eugene, Oregon 97401

Addendum Receipt

For Project Number: **20-C-0048**
Titled: **Pengra Court
Exterior Improvements**
Addendum Numbered: **ONE**
Dated: **January 4, 2021**
with Pages numbered: **1-5**

By my signature below I acknowledge:

- Receipt of the noted Addendum,
- That it has been fully reviewed, and
- That all terms included therein are incorporated into the Bid.

Signature: _____

Title: _____

Date: _____

COMPLETE THIS FORM AND SUBMIT WITH BID DOCUMENTS

All bidders must complete and sign this form, or similar Addendum Receipt form, for each Addendum issued. The form is to be submitted with the bid documents. A bid may be considered non-responsive if a completed Addendum Receipt is not submitted with the quote, for each Addendum issued.